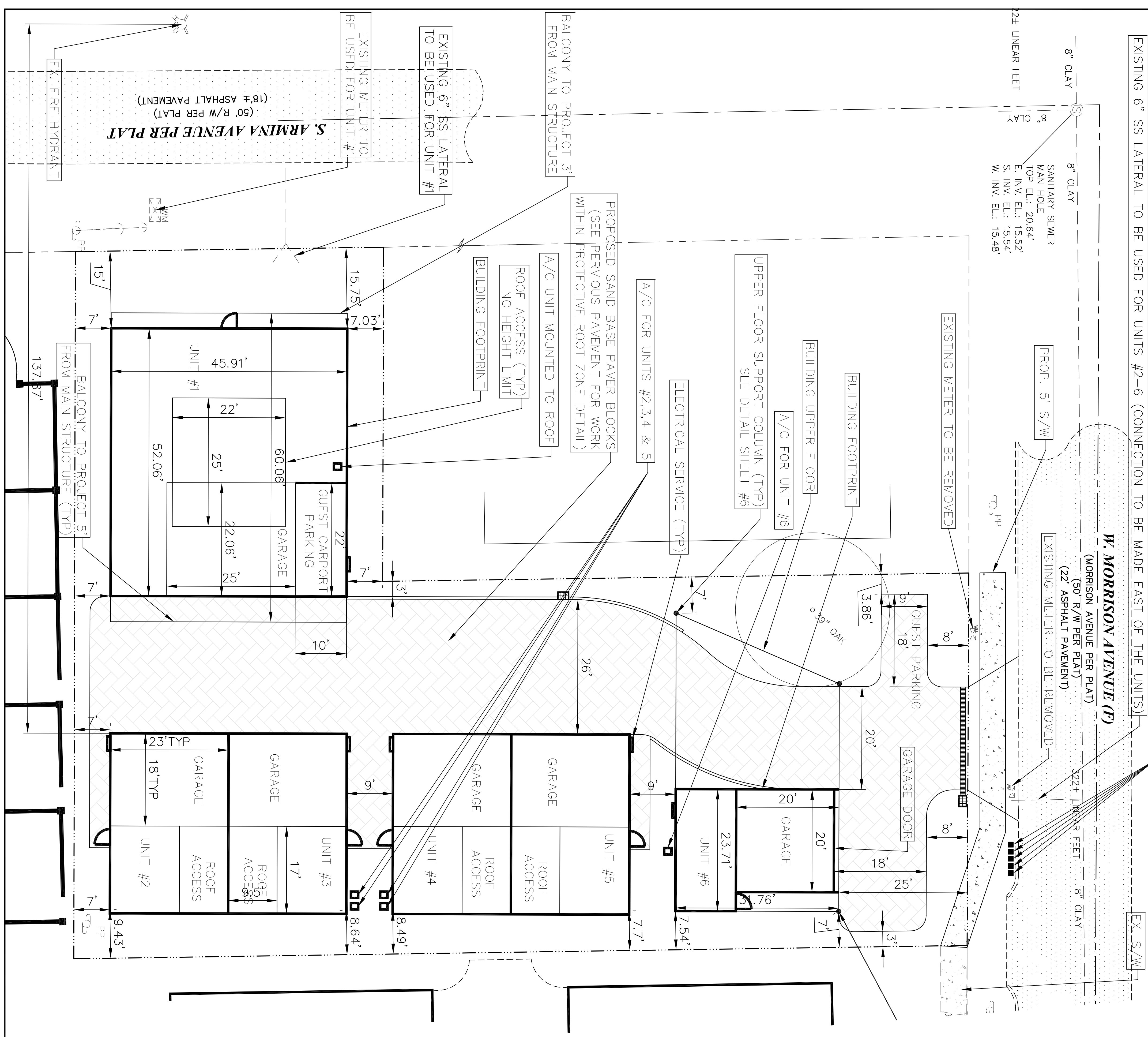


PROP. METERS TO BE USED FOR UNITS # 2, 3, 4, 5 & 6 (ALL CONNECTIONS TO BE MADE EAST OF THE UNITS)
 EXISTING 6" SS LATERAL TO BE USED FOR UNITS #2-6 (CONNECTION TO BE MADE EAST OF THE UNITS)



W. MORRISON AVENUE (P)
 (MORRISON AVENUE PER PLAT)
 (50' R/W PER PLAT)
 (22' ASPHALT PAVEMENT)

8" CLAY
 8" CLAY
 SANITARY SEWER
 MAN HOLE
 TOP EL.: 20.64'
 E. INV. EL.: 15.52'
 S. INV. EL.: 15.54'
 W. INV. EL.: 15.48'

PROP. 5' S/W

EXISTING METER TO BE REMOVED

EX. S/W

EXISTING METER TO BE REMOVED

BUILDING FOOTPRINT

BUILDING UPPER FLOOR

A/C FOR UNIT #6

UPPER FLOOR SUPPORT COLUMN (TYP)
 SEE DETAIL SHEET #6

ELECTRICAL SERVICE (TYP)

A/C FOR UNITS #2,3,4 & 5

PROPOSED SAND BASE PAYER BLOCKS
 (SEE PERVIOUS PAVEMENT FOR WORK
 WITHIN PROTECTIVE ROOT ZONE DETAIL)

A/C UNIT MOUNTED TO ROOF

ROOF ACCESS (TYP)
 NO HEIGHT LIMIT

BUILDING FOOTPRINT

EXISTING 6" SS LATERAL
 TO BE USED FOR UNIT #1

EXISTING METER TO
 BE USED FOR UNIT #1

S. ARMENIA AVENUE PER PLAT
 (50' R/W PER PLAT)
 (18' ± ASPHALT PAVEMENT)

EX. FIRE HYDRANT

PARKS DEPT. NOTE
 FOR PAVEMENT SECTION DETAIL, SEE
 "PERVIOUS PAVEMENT DETAIL FOR
 WORK WITHIN PROTECTIVE ROOT ZONE"

NOTE:
 PRIOR TO COMMENCEMENT OF CONSTRUCTION
 CONTRACTOR MUST FIELD VERIFY THE HORIZONTAL
 AND THE VERTICAL LOCATIONS OF ALL UTILITY TIE-INS
 AND MUST NOTIFY, IN WRITING, THE ENGINEER OF ANY
 DISCREPANCIES OR CONFLICTS. ALL SHOWN UTILITY
 TIE-INS ARE APPROXIMATE AND BASED ON ATLAS
 INFORMATION WHICH IS KNOWN TO BE INACCURATE.

SITE PLAN CALCULATION

1. MIN. BUILDING SEPARATION
 $D = 2 + H/11 + L/10$
 $= 2 + 35/11 + 35.4/10$
 $= 8.74$
 2. MAX. ROOF ACCESS AREA
 - UNIT #1
 ROOF AREA = 2,758 SF
 MAX. ROOF ACCESS AREA = 20% X ROOF AREA
 $= 2,758 \times 0.20 = 551.60$ SF
 - UNIT #2 THRU 5
 ROOF AREA = 805 SF
 MAX. ROOF ACCESS AREA = 20% X ROOF AREA
 $= 805 \times 0.20 = 161$ SF
 - UNIT #6
 ROOF AREA = 1,622 SF
 MAX. ROOF ACCESS AREA = 20% X ROOF AREA
 $= 1,622 \times 0.20 = 324$ SF
- (NOTE: NO HEIGHT LIMIT ON ROOF ACCESS)

SITE PLAN NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH CURRENTLY ADOPTED CODES.
 * NATIONAL FIRE PROTECTION ASSOCIATION
 * 2004 FLORIDA FIRE PREVENTION CODE, WHICH INCLUDES
 HE 2003 EDITIONS OF THE NFPA #1 FIRE PREVENTION
 CODE & #101 THE LIFE SAFETY CODE.
 * FLORIDA BUILDING CODE, 2004 EDITION
2. ALL LAND DEVELOPMENT ACTIVITIES AND CONSTRUCTION IS TO
 COMPLY WITH CITY OF TAMPA STORMWATER DIVISION TECHNICAL STANDARDS,
 WITH CITY OF TAMPA LAND DEVELOPMENT CODE.
3. ALL LANDSCAPING ACTIVITIES TO FULLY COMPLY WITH CHAPTER 13
 OF THE CITY OF TAMPA LAND DEVELOPMENT CODE.
4. ALL LAND DEVELOPMENT ACTIVITIES AND CONSTRUCTION IS TO
 COMPLY WITH ALL CURRENTLY ADOPTED FIRE & BUILDING CODES.
5. ALL SIDEWALK RAMPS INSTALLED WITHIN THE PUBLIC R/W MUST
 COMPLY W/PROT INDEX #304
6. SIDEWALKS THROUGH DRIVEWAYS TO BE CONSTRUCTED HANDICAPPED
 ACCESSIBLE (MINIMUM 6" THICK PER CITY OF TAMPA CODE).
7. BUILDING OCCUPANCY WILL BE RESIDENTIAL (TOWNHOUSES).
8. SOLID WASTE WILL BE CURB SIDE PICK-UP ON MORRISON AVENUE
 & TRASH CANS WILL BE STORED WITHIN THE GARAGES ON
 NON-PICKUP DAYS.
9. SIDEWALK ON ARMENIA AVENUE IN-LIEU FEE WILL BE APPLIED FOR.

TRANSPORTATION NOTES

1. ALL ABANDONED DRIVEWAYS SHALL BE REMOVED AND CURBS
 RAISED TO CITY OF TAMPA STANDARDS AND SPECIFICATIONS.
2. ALL BROKEN SIDEWALKS SHALL BE RESTORED TO CITY OF TAMPA
 STANDARDS AND SPECIFICATIONS: CONCRETE 3,000 PSI, 5 FEET WIDE,
 4 INCHES THICK, 6 BY 6 WELDED WIRE MESH, 6 INCHES THICK, NO
 MESH IN DRIVEWAY.
3. ALL DISTURBED AREAS WITHIN THE RIGHTS-OF-WAY SHALL BE
 RESTORED TO CITY OF TAMPA STANDARDS AND SPECIFICATIONS.
4. CURB RAMPS SHALL BE PROVIDED WHERE THE PUBLIC SIDEWALK
 MEETS ALL DRIVEWAYS PER THE FLORIDA ACCESSIBILITY CODE
 STANDARDS AND SPECIFICATIONS.
5. ALL SIGNAGE AND STRIPING TO COMPLY WITH THE MANUAL FOR
 UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)

ISSUED FOR:
 REVIEW

PREPARED FOR:
2406 MORRISON DEVELOPMENT LLC

PREPARED BY:
PROFESSIONAL ENGINEERING, INC.
 ENGINEERING PERMITTING PLANNING
 (CERTIFICATE OF AUTHORIZATION: 00008732)

214 S. ARMENIA AVENUE
 TAMPA, FL 33609
 TEL 813-963-0006
 FAX 813 286-2205
 E-MAIL: azam@pei-fl.com

PROJECT NAME:
MORRISON & ARMENIA TOWNHOMES

PROJECT LOCATION:
TAMPA, FLORIDA

SHEET NAME:
SITE & UTILITY PLAN

NO.	DATE	DESCRIPTION	BY

SHEET
2