

**SITE NOTES:**

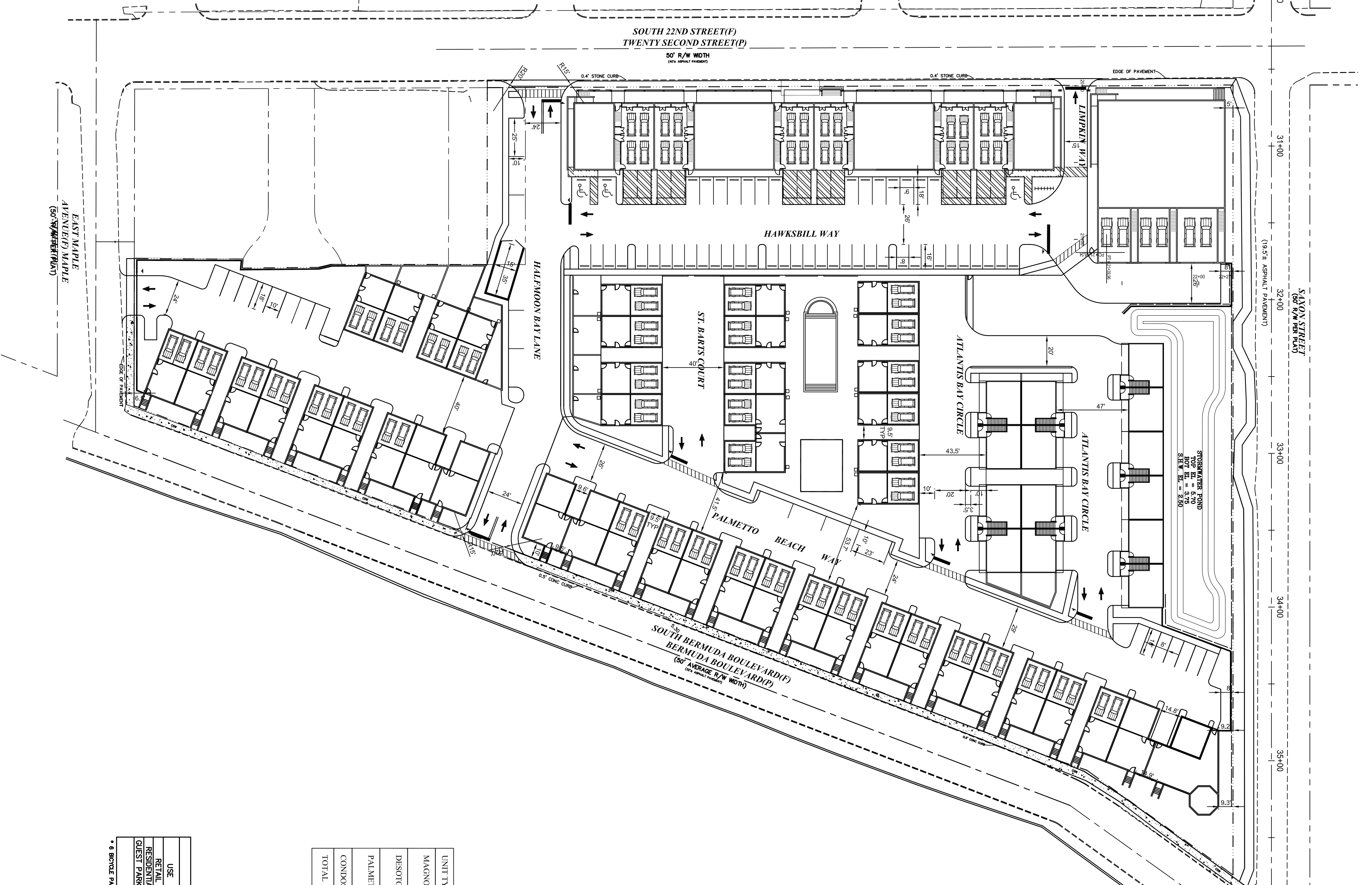
1. ALL LAND DEVELOPMENT ACTIVITIES AND CONSTRUCTION IS TO COMPLY WITH CITY OF TAMPA STORMWATER & TRANSPORTATION DIVISIONS.
2. TECHNICAL STANDARDS PRIOR TO PERMITTING.
3. ALL LAND DEVELOPMENT ACTIVITIES AND CONSTRUCTION IS TO COMPLY WITH CITY OF TAMPA DEVELOPMENT CODE PRIOR TO PERMITTING.
4. THE DRIVEWAY/SIDEWALK WILL COMPLY WITH F.A.C. STANDARDS.
5. SIDEWALKS THROUGH DRIVEWAYS TO BE CONSTRUCTED HANDICAPPED ACCESSIBLE (MINIMUM 6" THICK PER CITY OF TAMPA CODE).
6. RUN-OFF TREATMENT WILL BE PROVIDED FOR THE FIRST 1" OF BASE FLOOD EL. = 11'3" & "B" ACCORDING TO THE FLOOD INSURANCE RATE ACT (FIRMA) 120 CMRD, 00230, REVISED SEPTEMBER 30, 1982, FOR THE CITY OF TAMPA.
7. THE PROPERTY SHOWN HEREON APPEARS TO BE IN FLOOD ZONES "A10" (BASE FLOOD EL. = 11'3" & "B" ACCORDING TO THE FLOOD INSURANCE RATE ACT (FIRMA) 120 CMRD, 00230, REVISED SEPTEMBER 30, 1982, FOR THE CITY OF TAMPA).
8. DEVELOPMENT SHALL PROCEED IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF TAMPA DEVELOPMENT CODE.
9. THE CITY OF TAMPA DEVELOPMENT CODE.
10. EXISTING STRUCTURES ON PROJECT SITE SHALL BE REMOVED.
11. EXISTING STRUCTURES AND PREVIOUS LOCATIONS ARE REPROPOSED AND RECONSTRUCTED AS PROPOSED AND SUBJECT TO CITY OF TAMPA ACCESS MANAGEMENT STANDARDS AND APPROVAL BY FLORIDA DEPARTMENT OF TRANSPORTATION.
12. ACCESS POINTS ARE PROPOSED AND APPROVED BY FLORIDA DEPARTMENT OF TRANSPORTATION.
13. NO CROSS ACCESS TO ADJACENT PROPERTIES IS PROPOSED.
14. NO DEDICATION OF RIGHTS-OF-WAY TO CITY OF TAMPA DEVELOPMENT IS PROPOSED.
15. HEIGHT SHALL BE MEASURED PURSUANT TO CITY OF TAMPA DEVELOPMENT CODE.
16. THE DEVELOPMENT WILL BE DEVELOPED AS A MIXED USE PROJECT WITH MULTIPLE BUILDINGS.
17. MULTIPLE BUILDINGS DEVELOPED IN ONE OR MULTIPLE PHASES.
18. THE RESIDENTIAL PORTION OF THE PROJECT MAY BE PLANNED AND DEVELOPED AS A PRIVATE, GATED COMMUNITY, WITH THE INTERNAL ROADWAYS BEING PRIVATELY OWNED AND MAINTAINED.
19. ROADWAYS INTENTIONALLY SENSITIVE AREA IS APPROXIMATE AND HAS NOT BEEN SURVEYED.
20. BUFFERING AND SCREENING SHALL BE IN ACCORDANCE WITH CITY OF TAMPA DEVELOPMENT CODE.
21. THIS DEVELOPMENT IS A MIXED USE PROJECT WITH A PLANNED SUBDIVISION AND THEREFORE, SAND PLAT WILL OVERRIDE ANY EXISTING LOTS, BLOCKS, AND/OR TRACTS.
22. PRESERVATION REQUIREMENTS OF THE CITY OF TAMPA CODE MINOR MODIFICATIONS TO THE LOCATION OF BUILDING ENVELOPES MAY BE PERMITTED TO MEET TREE PRESERVATION REQUIREMENTS PROVIDED.
23. SIDEWALKS WILL BE PROVIDED INTERNALLY TO THE SITE.
24. THE STORMWATER MANAGEMENT SYSTEM SHALL BE DESIGNED AND CONSTRUCTED IN SUCH A MANNER SO AS TO NOT ADVERSELY IMPACT THE SURROUNDING ENVIRONMENT.
25. PROPOSED COMMON OPEN SPACES OR RECREATION AREAS ARE GENERALLY DEPICTED ON THE SITE PLAN.
26. SOLID WASTE COLLECTION SERVICE WILL BE PROVIDED FOR THE PROJECT.
27. A SINGLE COMPACTOR THAT WILL BE UTILIZED BY BOTH COMMERCIAL AND RESIDENTIAL WITHIN THIS COMPLEX. THE SCREENING ENCLOSURE WILL BE PLACED WITHIN THE ENCLOSURE FOR THE COMPACTOR TO BE SET ON, THE TANKING DOOR OPEN DURING SERVICE ENCLOSURE WILL HAVE LOOKING PINS TO ALLOW THEM OPEN DURING SERVICE.
28. A VACATION OF RIGHT-OF-WAY APPLICATION IS UNDER REVIEW.
29. CONCURRENTLY WITH THIS REZONING APPLICATION, THE ROOF-MOUNTED AIR CONDITIONERS, ALL TYPE 2 AND TYPE 4 UNITS WILL BE GROUND MOUNTED AS DEPICTED ON SITE PLAN.
30. KNICKS AND ENDS OF ENCLAVES ARE TO BE INSTALLED AT GATED OCCUPANCY. IT WILL BE DEVELOPED CONSISTENT WITH THE CITY OF TAMPA GREENWAYS AND TRAILS MASTER PLAN AMENDMENTS ADOPTED BY CITY OF TAMPA AND WILL SUPPORT THE PROVISION OF ONE-AND-TWO TRAIL ZONE AND BROADWAY BOULEVARD ALONG THE EASTERN PROPERTY BOUNDARIES.
31. RETAIL ENTRANCE WILL PROVIDED FROM 22ND STREET AND THE EXACT PLACE CONVEY MIRRORS ON QUAD BUILDING CORNERS FOR CLEAR VISIBILITY OF PEDESTRIAN ON S/W.
32. THE PROPOSED SIX-FOOT HEIGHT MASONRY WALL ADJACENT TO THE SIX-FOOT WROUGHT IRON FENCE WITH PIER AND INTEL CONSTRUCTION SUBJECT TO THE CITY'S PARKS AND RECREATION DEPARTMENT REVIEW AND APPROVAL PRIOR TO PERMITTING.
33. PROTECTIVE RADIIUS WILL BE SHOWN AT PERMITTING FOR THE TWO TREES WILL BE SHADY TREE AREA WILL BE RELOCATED ON THE LOT IN PROTECTIVE RADIIUS OF THE PRESERVED TREES.
34. THESE TREES FROSTING SINKING AREA WILL BE WITHIN THE LOT IN PROTECTIVE RADIIUS OF THE PRESERVED TREES.
35. THE CONDOMINIUM ASSOCIATION SHALL MEET WITH THE CITY OF TAMPA WITHIN FIVE YEARS FROM THE DATE OF CONSTRUCTION, A CRIME REPORT FROM THE CITY OF TAMPA POLICE DEPARTMENT SHALL BE PROVIDED TO THE ASSOCIATION DURING THE PERIOD SUBSEQUENT TO THE CONSTRUCTION OF THE PROJECT.

**LANDSCAPE NOTES:**

1. ONLY HAND EXCAVATION WILL BE ALLOWED OUTSIDE THE DRIP LINE OF THE DIAMETER TREES AND THERE WILL BE NO SEVERING OF ROOTS OVER 2" IN DIAMETER.
2. FOR THE REMAINING TREES TO HANDLE THE DIFFERENCE IN GRADE, EITHER A RETAINING WALL OR TREE WELL WILL BE PROVIDED FOR THE ADJACENT TREES.
3. THE REMAINING TREES TO BE PRESERVED WILL BE IDENTIFIED AND PLANTED WITHIN 10' OF THE VERTICAL PLAN OF OVERHEAD POWER LINES.
4. THE DEVELOPER WILL COMMIT TO A MAINTENANCE AGREEMENT THROUGH THE MAYORS BEAUTIFICATION PROGRAM FOR ANY TREES PLANTED WITHIN THE R/W. PROPOSED TREES MARKED FOR REMOVAL TO BE APPROVED THROUGH THE REZONING PROCESS. ALL INVASIVE SPECIES WILL BE REMOVED.

**TRANSPORTATION SPECIFIC NOTE:**

RESET GRANITE CURB ON 22ND AND BRINGIT TO A MINIMUM 6" CURB FACE.



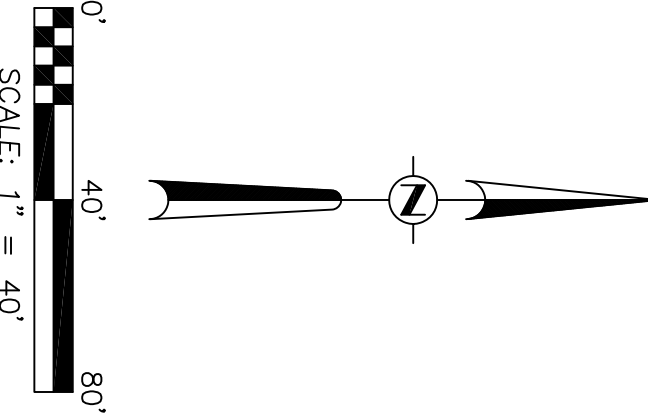
ALL ROADWAYS WITHIN THIS DEVELOPMENT SHALL BE PRIVATE RIGHT OF WAY.

**ABBREVIATIONS**

- TYP TYPICAL
- HC HANDICAP
- (10) 10 PARKING SPACES
- S/W SIDEWALK
- R<sup>5</sup> 5' RADIUS
- LF LINEAR FEET
- SF SQUARE FEET

**LEGEND**

- SITE BOUNDARY LINE
- CENTER LINE OF ROAD
- RIGHT-OF-WAY
- EXISTING EDGE OF PAVEMENT
- HANDICAP PARKING
- PROPOSED DRAINAGE INLET
- PROPOSED CURB
- PROPOSED CONCRETE
- PUBLIC ACCESS, DRAINAGE & UTILITY EASEMENT
- PROPOSED INGRESS/EGRESS UTILITY EASEMENT TO BE DEDICATED PER PLAT



UNIT TYPE	AREA (SF)	# OF UNITS	TOTAL AREA (SF)
MAGNOLIA	1,742	14	24,388
DESOTO	2,889	27	76,003
PALMETTO	2,561	19	48,659
CONDOS OVER RETAIL	2,200	15	33,000
<b>TOTAL</b>		<b>75</b>	<b>184,050</b>

USE	AREA (SQ FT)	SPACES	SPACES
RETAIL	12,000	48	48
RESIDENTIAL	75	150	150
GUEST PARKING	25	19	19
<b>TOTAL PROPOSED</b>		<b>217</b>	<b>217</b>
<b>TOTAL AVAILABLE</b>		<b>224</b>	<b>224</b>

\* 8 SPECIAL PARKING SPACES HAVE BEEN PROVIDED FOR CHAPTER 22-324.

ISSUED FOR: **REVIEW**

NO.	DATE	DESCRIPTION	BY
5-20-08		REVISED PER CITY OF TAMPA COMMENTS	BML

PROJECT NAME: **BERMUDA VISTA TOWNHOMES**  
 PROJECT LOCATION: **TAMPA, FLORIDA**  
 SHEET NAME: **SITE PLAN**

PREPARED FOR: **GLG MAGNOLIA OAKS LLC**  
 PREPARED BY: **Professional Engineering, Inc.**  
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CERTIFICATE OF AUTHORIZATION NO. 8732  
**4**  
 SHEET